



CITY OF SOMERVILLE, MASSACHUSETTS
MAYOR'S OFFICE OF STRATEGIC PLANNING & COMMUNITY DEVELOPMENT

Joseph A. Curtatone

Mayor

HISTORIC PRESERVATION COMMISSION

KRISTENNA CHASE, *PRESERVATION PLANNER*
SARAH WHITE, *PLANNER & PRESERVATION PLANNER*

Case #: HPC 2017 - 027

Date: June 20, 2017

Recommendation: Conditional Approval

PRESERVATION STAFF REPORT

Site: 11 Westwood Road

Applicant Name: Lucas Rogers

Applicant Address: 11 Westwood Road,
Somerville, MA 02143

Owner Name: same as above

Owner Address: same as above

Petition: Lucas Rogers, owner seeks permission from the Somerville Historic Preservation Commission (HPC) to alter driveway materials; alter fence & gate; new landscaping in rear; demolish garage (previously granted (April 2016)).

HPC Hearing Date: June 20, 2017



I. PROJECT DESCRIPTION

1. **Subject Property:** The subject property is located in the Westwood Road neighborhood, is part of the Westwood Road Local Historic District (1985), and became part of the National Register District in 1989 (MACRIS). The building was constructed c.1898 as a 2 ½ story side-hall plan Colonial Revival/Shingle style home with a large central dormer and salt box rear.

There is a low two bay garage at the rear of the property constructed in 1929 in the most basic auto shed style of cement blocks in the shape of rusticated granite and a hipped roof. It is located as far from the house as possible on the lot. The doors are not original to the garage.

2. **Proposal:** See plans attached to this report.

II. FINDINGS FOR REMOVAL OF LATER ADDITIONS AND ALTERATIONS

The Somerville LHD guidelines state that removal of later additions and alterations may be treated as follows:

Removal of later additions and alterations

1. *Each property will be separately studied to determine if later additions and alterations can, or should be removed. It is not possible to provide a single general guideline.*
2. *Factors that will be considered include:*
 - a. *compatibility with the original property's integrity in scale, materials and character;*
 - b. *historic association with the property; and*
 - c. *quality in the design and execution of the addition.*

Proposal: The Applicant proposes to demolish the 1929 concrete block garage to grade to allow for new patio and landscaping in the rear of the property.

Staff Findings: Staff finds the garage, located in the northeast corner of the lot to be in fair condition. It has 2003 replacement doors. The garage is typical but less ornamented than many garages of the 1920s. See **Carriage House to Auto House** by Reed and Hardwicke for a typology of popular styles. Staff finds it significant as a characteristic structure of the vintage automotive era when the Model T and Model A Fords were the car of choice for many. Staff finds the structure to not be of contemporary significance to the 1898 house.

Staff finds that the proposed alterations meet the above HPC Guidelines in that the garage is a later addition to the site and may be removed without detriment to the integrity of the Westwood Road Local Historic District.

III. FINDINGS FOR LANDSCAPING

The Somerville LHD guidelines state that landscaping may be treated as follows:

Landscape Features and Paving

1. *The general intent of this section is to preserve the existing or later essential landscape features that enhance the property.*
2. *It is recognized that often the environment surrounding the property has a character, scale and street pattern quite different from that existing when the building was constructed. Thus, changes must frequently be made to accommodate the new condition, and the landscape treatment can be seen as a transition feature between the structure and its newer surroundings.*
3. *The existing landforms of the site should not be altered unless shown to be necessary for maintenance of the structure or site. Additional landforms will only be considered if they will not obscure the exterior of the structure.*
4. *The original layout and materials of the walks, steps and paved areas should be maintained if significant grade changes constitute an important feature of the structure or site. Consideration will be given to alterations if it can be shown that improved site circulation is necessary and that the alterations will accomplish this without altering the integrity of the structure.*

Proposal: The Applicant proposes to alter driveway materials; remove existing front fence and construct a new fence & gate at the rear edge of the house that would follow the property line around the back yard.

Trellises and arbors would be constructed along the driveway side of the house and at various locations around the yard. They also plan to demolish and reconstruct the rear deck to new dimensions. The lot would be regraded to allow for terracing and a patio in rear. They still intend to demolish the garage to expand the garden. The Certificate of Appropriateness granted in April, 2016 has expired. The Applicant proposes to alter driveway materials; alter fence & gate; new landscaping in rear. The driveway would have two dry laid granite cobble strips leading to the parking area. The rear yard will be fenced to a 4' to 6' height depending on location and accessed by a trellis/arbor gate between the rear corner of the house and the neighbor's property. The enlarged deck and altered land will not be visible from the street.

Staff Findings: Staff finds that there is no alteration of the landforms or circulation pattern of the site visible from the public right of way. There will be no alteration to the relationship of the house to its surroundings. Staff finds that a fence did not historically enclose the front yard of 11 Westwood Road. Photographic evidence shows that it was erected sometime between 2000 and 2003. No Certificates of Appropriateness were found for its construction. Staff finds the removal of the fence from front yard to be appropriate based upon the photographic evidence.

Staff also finds that fences have been used to delineate space and to control animals. Historic photos show many types of fences serving the purpose; and therefore Staff finds fencing in the backyard with a wood picket fence to be appropriate.

Staff finds that the style and the materials of the proposed ribbon driveway to be a traditional and therefore appropriate to the site.

Staff finds that the proposed alterations meet the above HPC Guidelines.

III. RECOMMENDATION

Based on the information provided and an assessment of the proposal against the Somerville LHD Guidelines, Staff recommends CONDITIONAL APPROVAL of the garage demolition and the removal and erection of a new fence, gate, and trellises with the following conditions:

- 1- All relevant building permits shall be obtained by the applicant prior to demolition of the garage, removal of the fence and rear deck, construction of the new deck, and the completion of the new landscape scheme as presented in the plans below.
- 2- The garage shall be demolished to grade.
- 3- The front yard fence shall be removed.
- 4- A new fence with a gate erected around the periphery of the back yard beginning and ending at the rear corners of the house as indicated in the plans below.
- 5- New trellises shall be erected as noted in the plans below.
- 6- The gate shall be located at the end of the driveway and parking area and shall have an arbor entry as indicated in the plans below.
- 7- If the work differs from the plans, new plans shall be submitted to Historic Staff prior to commencing the work.
- 8- Historic Staff shall issue a sign-off upon completion of the project that this was done in accordance with the Certificate and approved plans.

A **Certificate of Non-Applicability** shall be issued for those elements of the proposed plan that are not visible from the public right of way.



SCALE: 3/16"=1'-0"

DATE 7/23/2016, 7/26/16, 10/10/16

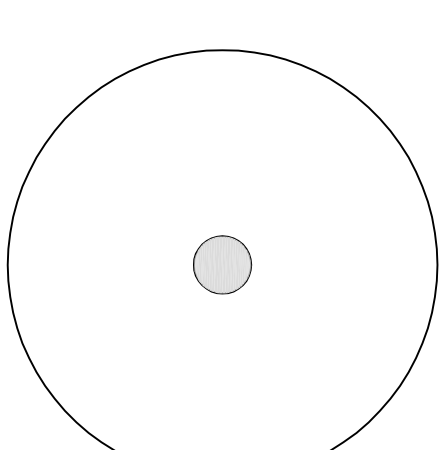
LEGEND

SEE DETAIL 2, SHEET 3

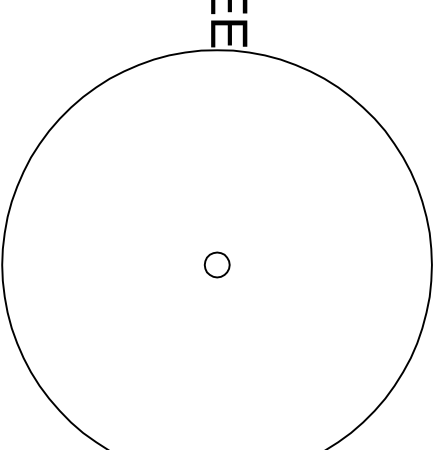
EXISTING SPOT
ELEVATION + (100.2)

PROPOSED
SPOT ELEVATION +100.2

EXISTING TREE



PROPOSED TREE



PROPOSED FENCE POST ☒

NOTES:

1) BUILDING FOOTPRINTS, EXISTING SITE FEATURES, AND PROPERTY LINES ARE FROM SURVEY RECEIVED ON 2-24-2015 FROM EVERETT M. BROOKS CO. INC., NEWTON, MA. INTERIOR HOUSE LAYOUT IS FROM DRAWINGS FOR THE RUSSELL RESIDENCE DATED 9-1-1999 BY CHAN MOCK ARCHITECTS, CAMBRIDGE, MA.

2) LATTICE FENCE, GATE, OVERHEAD RAILLIS, DECK, AND LATTICE SCREENING AT DECK SHALL ALL BE NATURAL WOOD.

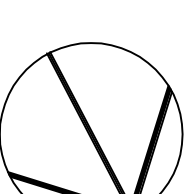
3) FENCE/OVERHEAD TRELLIS WORK ARE NOTED WITH TEXT IN BUBBLES.

**LUCAS ROGERS &
MATHIEU GAGNE
11 WESTWOOD ROAD
SOMERVILLE, MA 02143**

PROPOSED LANDSCAPE PLAN

ROGER WASHBURN
LANDSCAPE ARCHITECTURE LLC
8 FRANKLIN STREET
SOMERVILLE, MA 02145
617-776-6377
info@washburnla.com

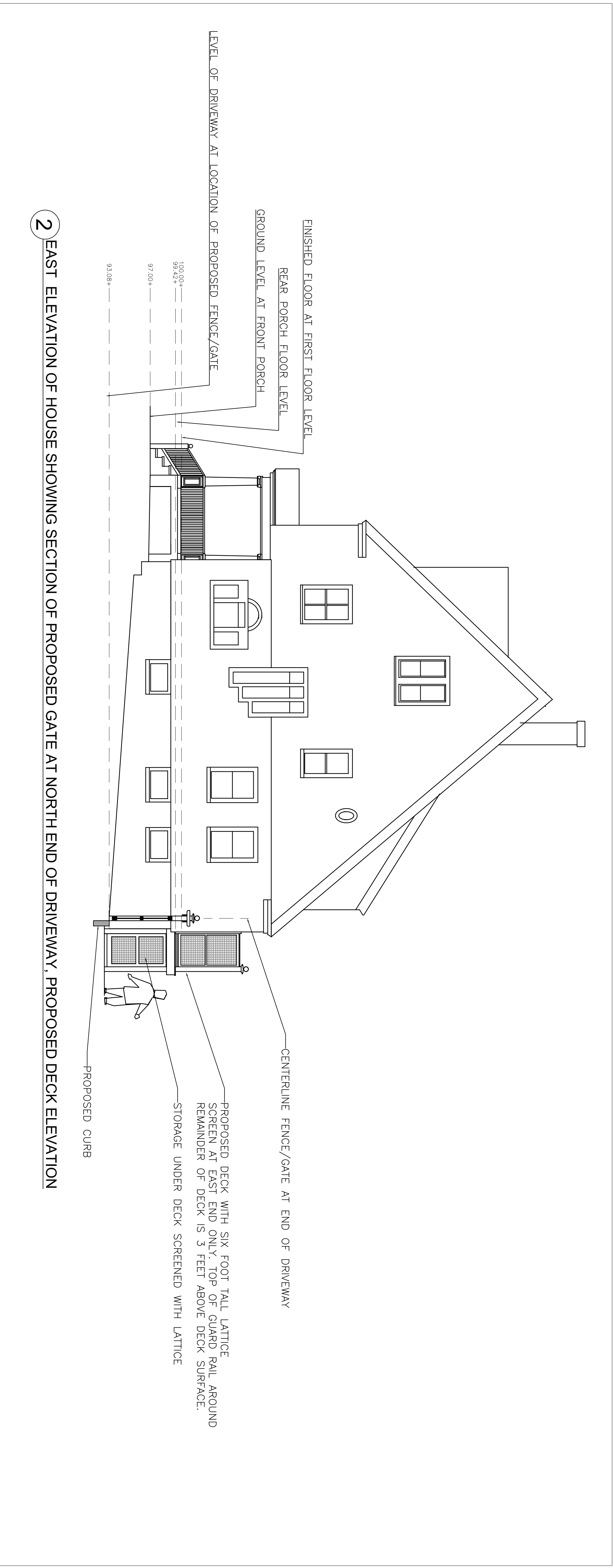
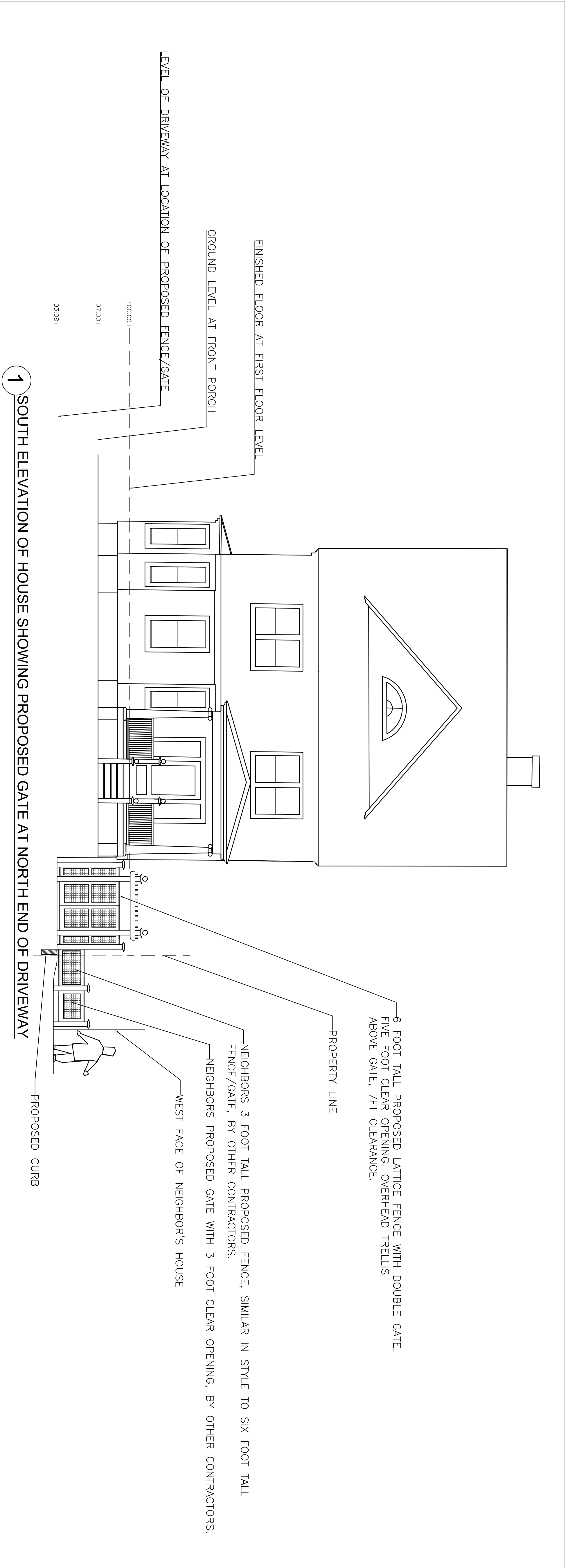
(For Design Review Only,
Not for Installation)



SHEET TWO OF SIX

SCALE
3/16"=1'-0"

DATE
7/22/26, Revised 7/23/16, 7/26/16,
10/10/16



NOTE:
BUILDING FOOTPRINTS, EXISTING SITE FEATURES, AND
PROPERTY LINES ARE FROM SURVEY RECORDED IN 224-2015
FROM EVERETT M. BROOKS CO. INC., NEWTON, MA. INTERIOR
HOUSE LAYOUT IS FROM DRAWINGS FOR THE RUSSELL
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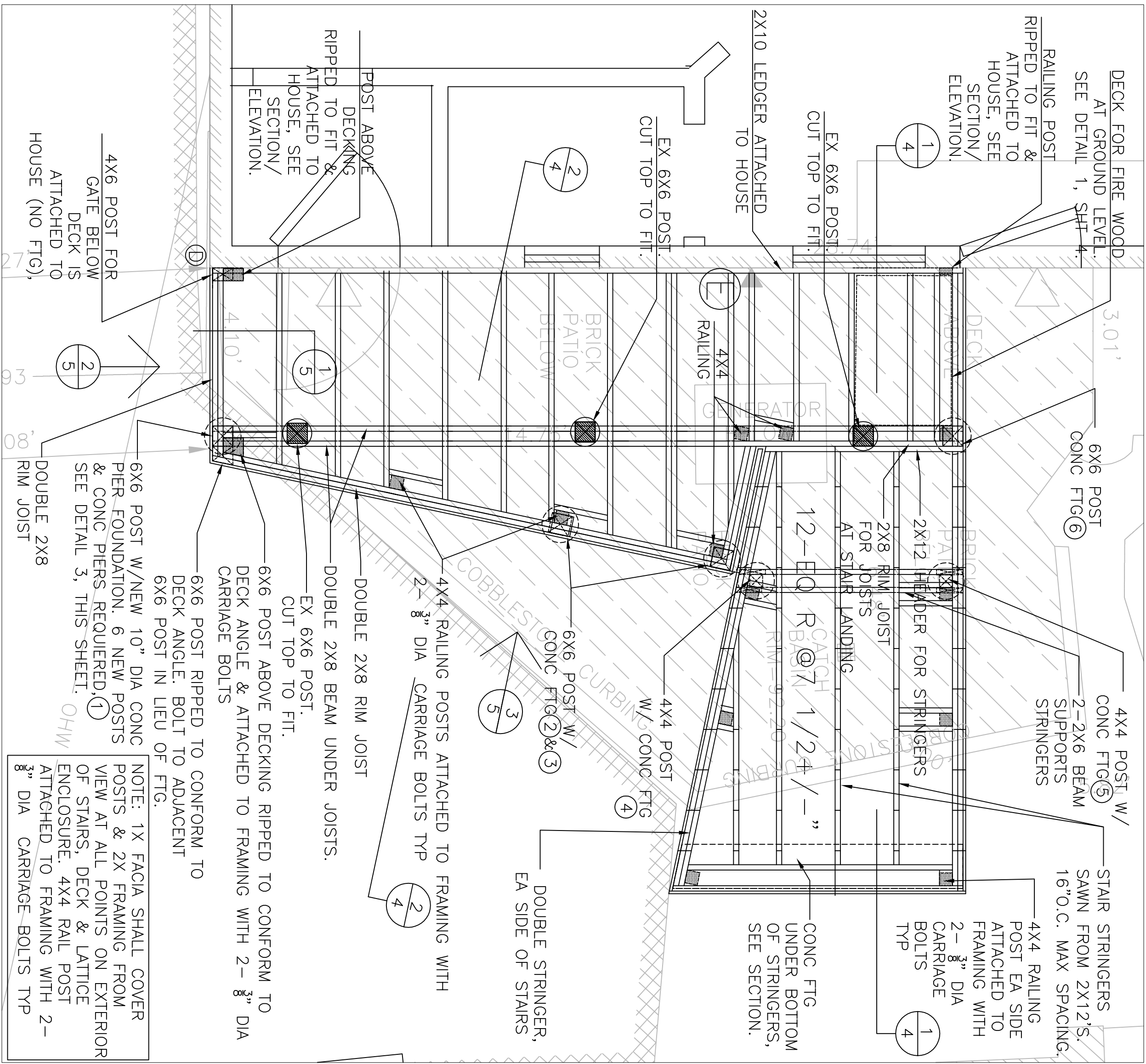
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PROPOSED LANDSCAPE
ELEVATIONS

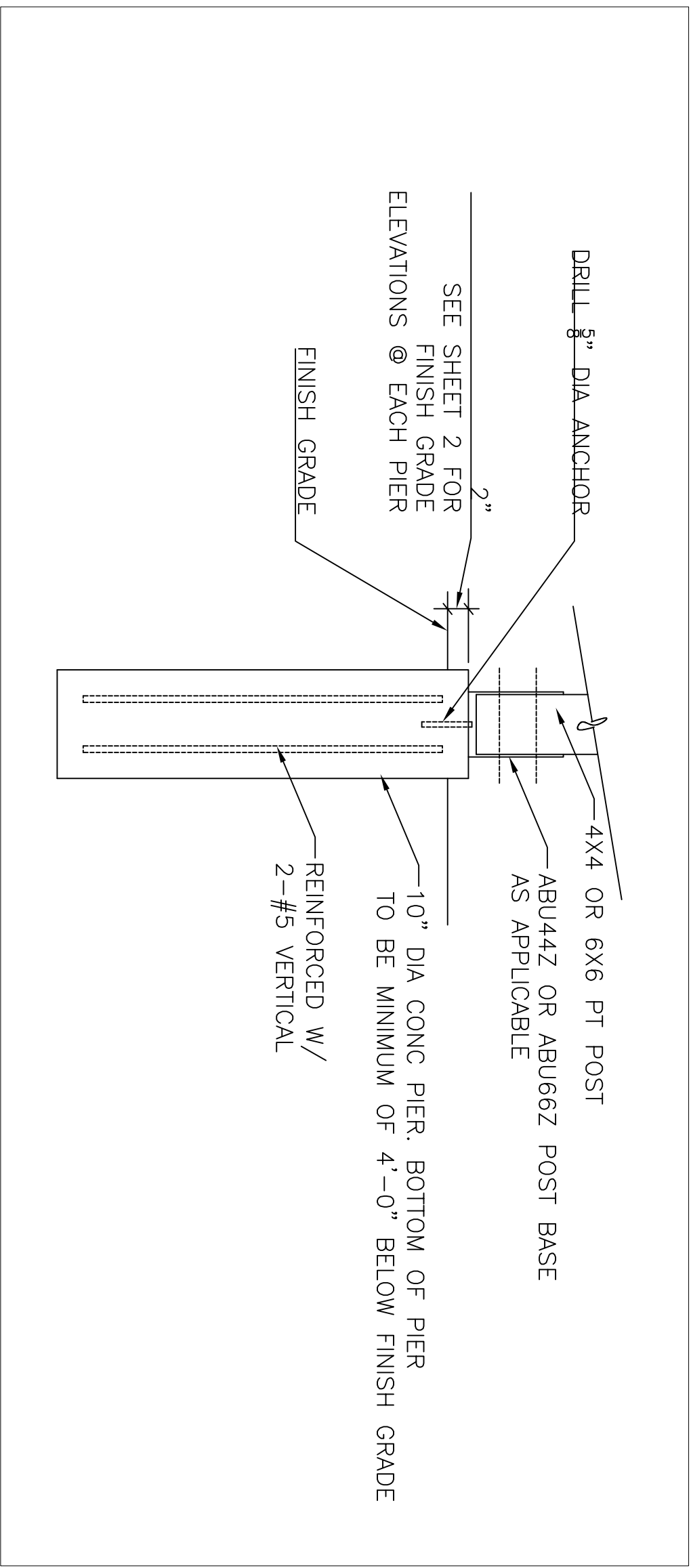
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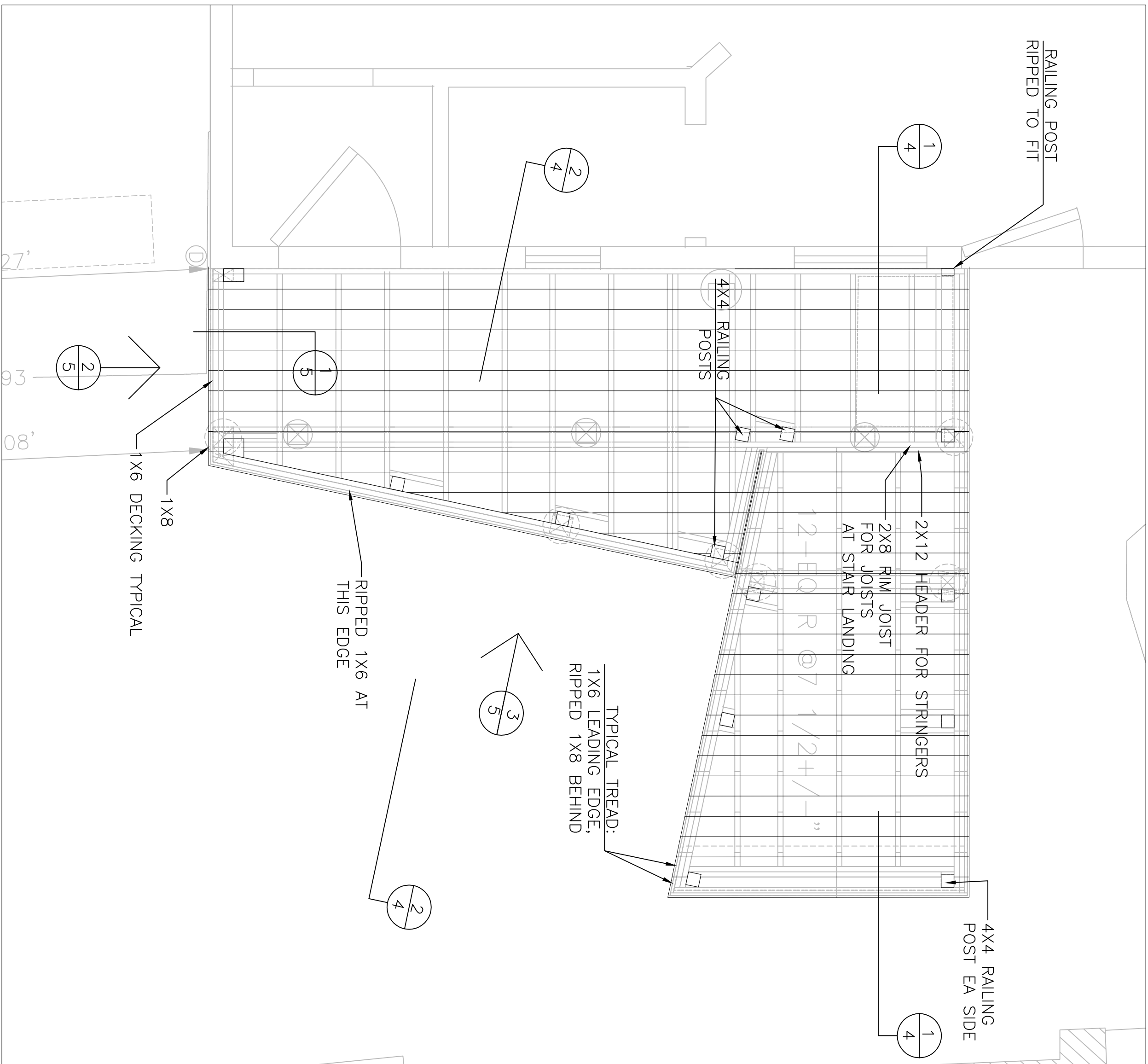
SHEET THREE OF SIX



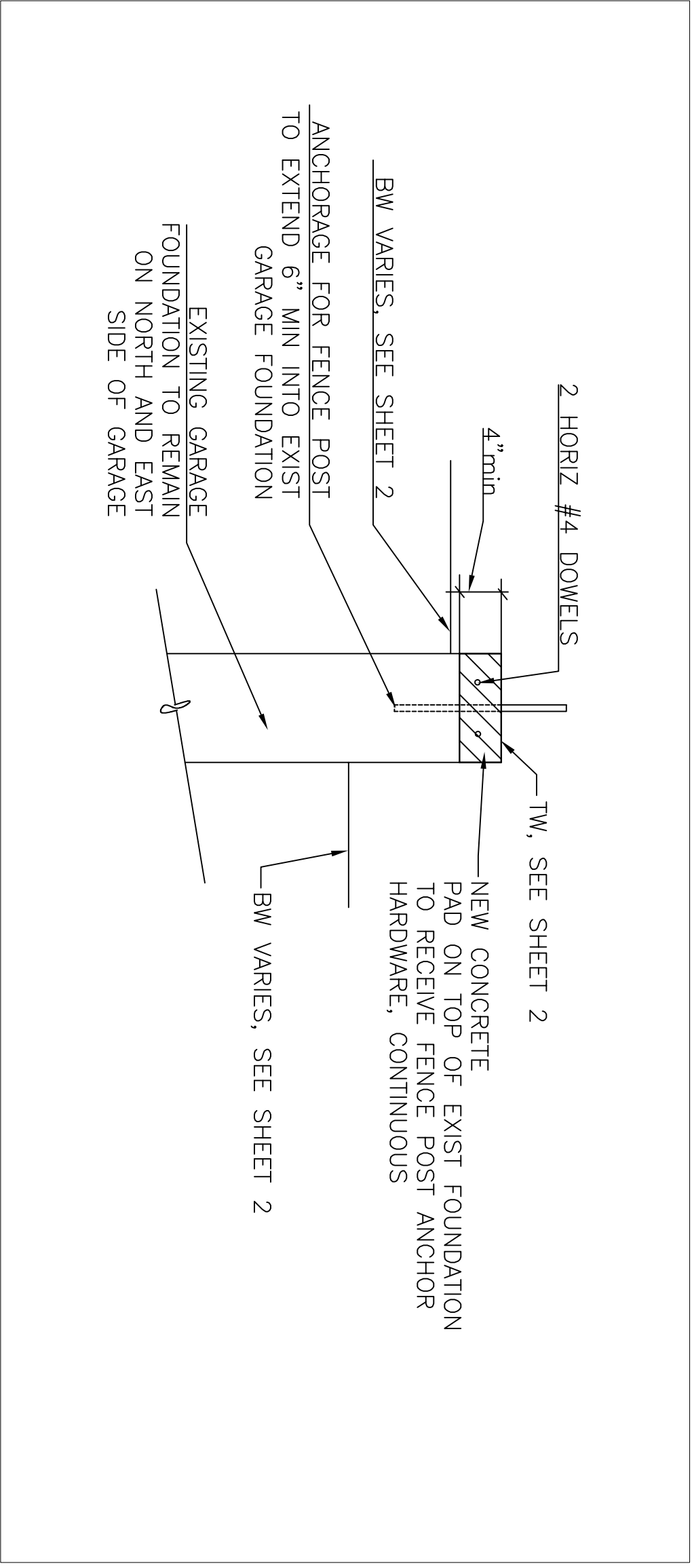
1 DECK FRAMING & PIER FOUNDATION PLAN
SCALE: 1/2"=1'-0"



3 TYPICAL DECK FOUNDATION PIER DETAIL
SCALE: 1"=1'-0"



2 DECKING PLAN
SCALE: 1/2"=1'-0"



4 CONCRETE PAD ON TOP OF GARAGE FOUNDATION
SCALE: 1"=1'-0"

SCALE
AS SHOWN

DATE
March 24, 2017

LEGEND
EXISTING SPOT ELEVATION + (100.2)

PROPOSED SPOT ELEVATION +100.2

SEE DETAIL ONE ON SHEET FOUR

4X4 DECK RAILING POST

DECK FRAMING
SUPPORT POST ON TOP OF CONCRETE FOUNDATION PIER

SPECIFICATIONS

- A. General (Sheet 1)
- B. Removals, Stockpiling (Sheet 1)
- C. Subgrade, Fill, Base Materials, Grading, & Drainage (Sht 2)
- D. Landscape Structures (Sht 2)
- E. Samples Required (Sht 2)
- F. Exterior Lighting and GFI Outlet (Sht 2)
- G. Deck Materials (Sht 3)
- H. Fountain equipment (Sht 6)
- I. Soil Preparation for Planting Areas (Sht 7)
- J. Planting, Mulching (Sht 7)
- K. Plant Warranty (Sht 7)

G. DECK MATERIALS
Posts and framing to be pressure treated Southern yellow pine. All other wood to be sound light knot (SLK) Western Red Cedar or equal approved by L.A. Finish SIK Western Red Cedar with one coat of primer and two coats of stain. Color of stain shall be selected by Owner. Temperatures at which finishes are applied shall be within range recommended by manufacturer of finish material. Primer for cedar shall not be applied until moisture content of wood is 14 percent or below. Hardware shall be stainless steel galvanized or stainless steel with powder coated finish (color to be selected by Owner). For concrete spec, see sheet 2, spec section D.

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DETAILS & DECK PLANS

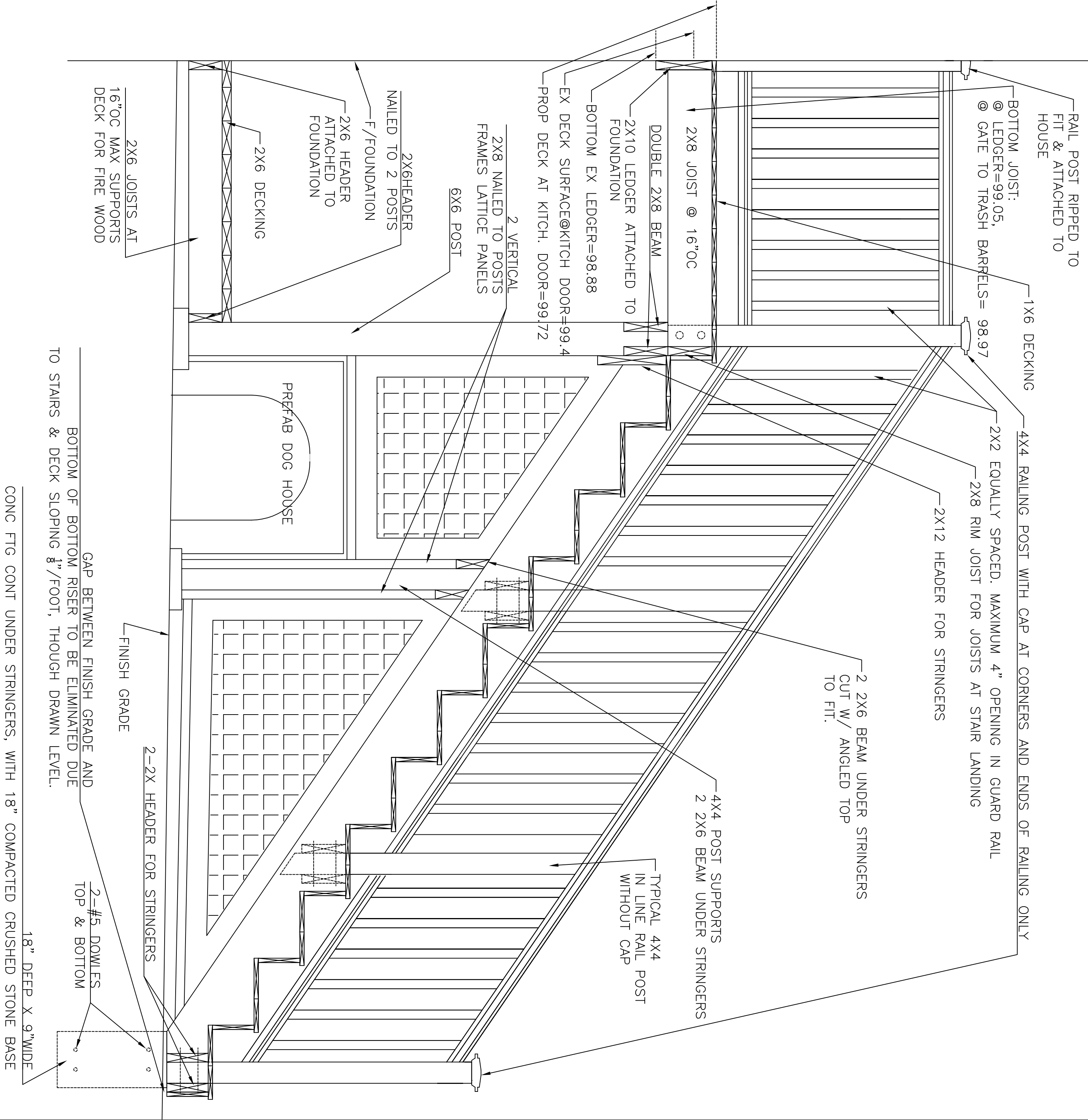
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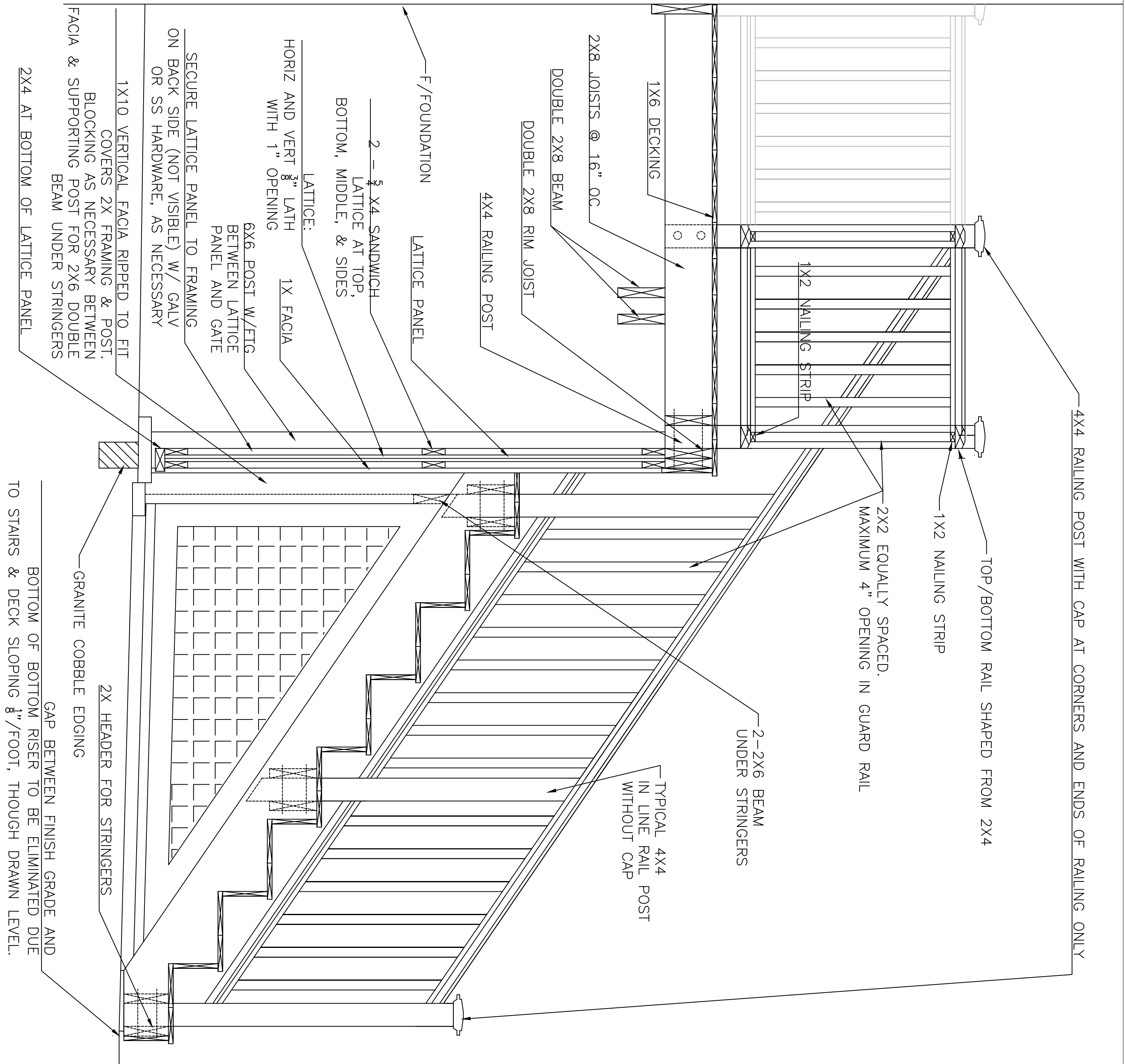
SHEET THREE OF SEVEN

SCALE
1"=1'-0"

DATE
March 24, 2017



1 SECTION THROUGH STAIRS AND LANDING WITH BACK SIDE OF LATTICE IN ELEVATION VIEW



2 SECTION THROUGH DECK & LATTICE PANEL WITH STAIRS IN ELEVATION VIEW

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DECK SECTIONS

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